

HISTORIC AND DESIGN REVIEW COMMISSION

April 05, 2023

HDRC CASE NO: 2023-070
ADDRESS: 306 BELKNAP PLACE
LEGAL DESCRIPTION: NCB 1887 BLK 7 LOT 12
ZONING: R-4, H
CITY COUNCIL DIST.: 1
DISTRICT: Monte Vista Historic District
APPLICANT: WARD ROBERT S & ELIZABETH D
OWNER: WARD ROBERT S & ELIZABETH D
TYPE OF WORK: Construction of a second story addition
APPLICATION RECEIVED: February 17, 2023
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to construct a second story addition on top of an existing addition to the existing, historic structure on site. The lot addressed as 306 Belknap Place was once part of the property addressed as 300 W French Place.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade—Design residential additions, including porches and balconies, to be subordinate to the principal facade of the original structure in terms of their scale and mass.
- ii. Rooftop additions—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. Imitation or synthetic materials—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. Salvage—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Standard Specifications for Windows in Additions and New Construction

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

FINDINGS:

- a. The applicant is requesting a Certificate of Appropriateness for approval to construct a second story addition on top of an existing addition to the existing, historic structure on site. The lot addressed as 306 Belknap Place was once part of the property addressed as 300 W French Place. This property is contributing to the Monte Vista Historic District.
- b. EXISTING STRUCTURES – This lot features a historic structure constructed circa 1905 that is found on the 1911 Sanborn Map. This structure features a series of additions including a rear addition with a shed roof and a brick, rear addition that features a flat roof. The brick addition features aluminum windows and was constructed circa 1960. This structure is not found on the 1951 Sanborn Map.
- c. CONCEPTUAL APPROVAL – The applicant received conceptual approval to construct the proposed addition at the March 16, 2022, Historic and Design Review Commission hearing. Conceptual approval was issued with the following stipulations:
 - i. That the applicant modify the proposed shed roof to feature a hipped roof, consistent with those found historically on site and the Guidelines. *This stipulation has not been met.*
 - ii. That the applicant install materials that consist of brick or stucco and clay tile or a visually similar material to result in an addition that is consistent with the Guidelines. Plastic roof tiles should not be used. *This stipulation has been met.*
 - iii. That the applicant modify the proposed fenestration profile to feature window locations, sizes and profiles that are consistent with those found historically within the district. *This stipulation has not been met.*
 - iv. That window products be consistent with staff's standards for windows in new construction and additions. *This stipulation has not been met.*
 - v. That a detail of the proposed railing be submitted for review and approval.
 - vi. That the addition feature an offset from the existing structure in wall planes. *This stipulation has not been met.*
- d. ADDITION – The applicant has proposed to construct a second story addition on top of the existing, 1-story brick addition. The proposed addition is to feature 1-story in height, a footprint of approximately 480 square feet and a shed roof.
- e. ADDITION – The Guidelines for Additions 1.A. note that additions should be sited to minimize view from the public right of way, should be designed to be in keeping with the existing, historic context of the block, should feature a similar roof form and should feature a transition between the proposed addition and existing structure. The applicant has proposed for the rooftop addition to feature a shed roof. Roof forms found historically within the Monte Vista Historic District include gabled and hipped profiles as well as occasional flat roofs with decorative parapet walls. The proposed roof form is not consistent with the Guidelines.
- f. ADDITION – The Guidelines for Additions 2.B. note that rooftop additions should be limited to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right of way. The Guidelines also note that full floor, second story additions that obscure the form of the original structure are not appropriate. Additionally, the Guidelines for Additions 2.B.v. note that the height of new additions should be consistent with the height of the existing structure. Generally, staff finds a second floor addition to be appropriate provided that it features a roof form, massing and architectural profile that are consistent with the Guidelines and complement the historic forms found within the district.
- g. ADDITION – The applicant has proposed materials that include a stucco façade, metal stairs, and a standing seam metal roof. The Guidelines for Additions 3.A. notes that materials that match in type, color, and texture should be used to be compatible with the architectural style of the original structure. Additionally, the Guidelines note that roofing materials for additions to structures with clay tile roofs should appear similar in color and dimension to the existing clay tile. Staff finds that roofing materials that appear similar in color and dimension to the existing clay tile roof should be used and that the proposed roof form should be modified as noted in finding e.
- h. ADDITION (Windows) – The applicant has noted the installation of one over one windows. Staff finds that window proportions should be consistent with those found historically on site. Additionally, staff finds that windows should be installed that are consistent with the adopted policy guide for windows. Information for window specifications are noted above in the applicable citations.
- i. ROOF FORM – As noted in finding e, the proposed shed roof is inconsistent with the Guidelines and roof forms found historically within the district. Staff finds that a hipped roof would be most appropriate.

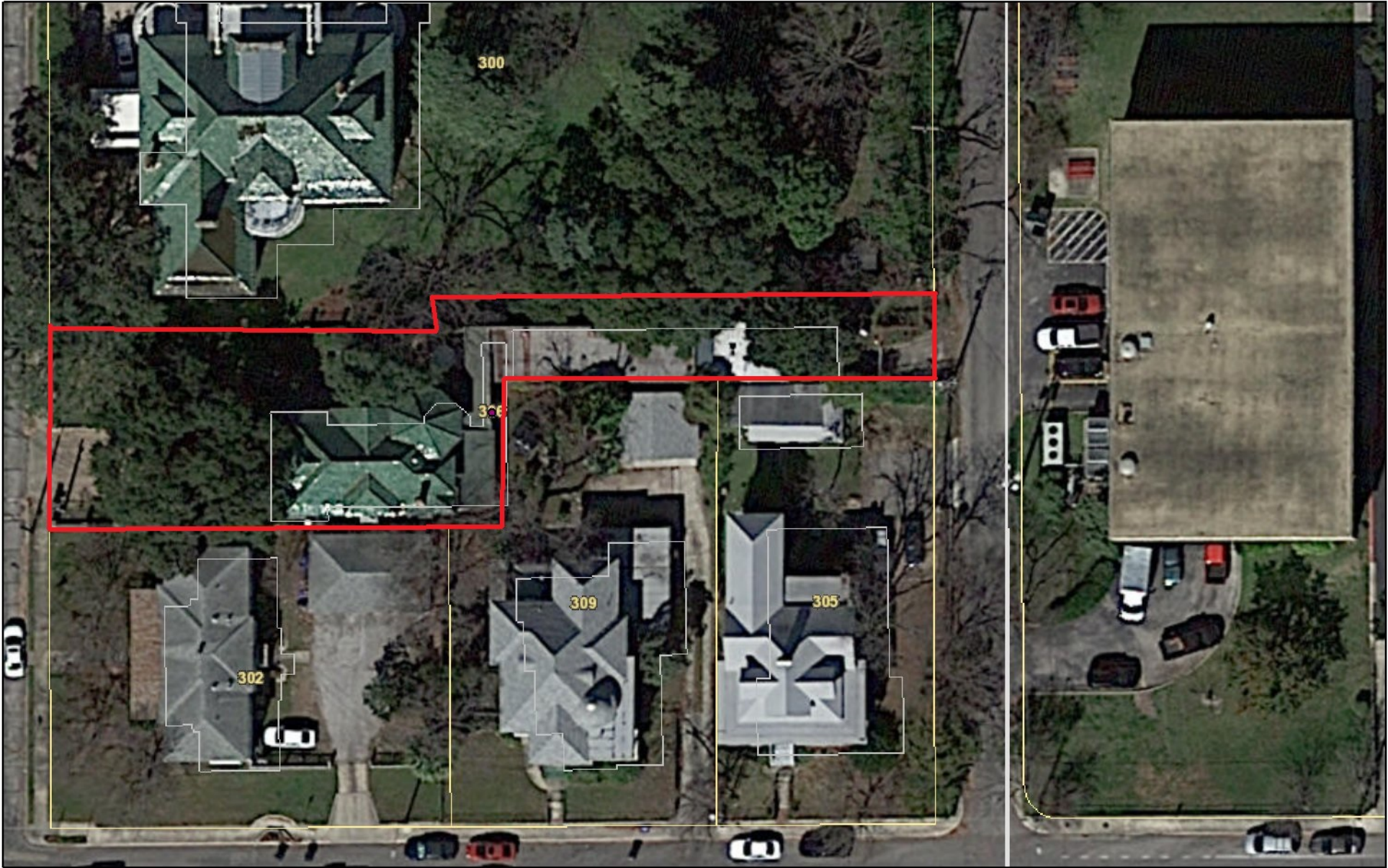
- j. ARCHITECTURAL DETAILS – As noted in the above findings, staff finds that the proposed roof form, materials, and fenestration profiles should be modified to be consistent with the Guidelines.
- k. STAIRS – The applicant has noted the installation of stairs on the north side of the proposed addition. Staff finds the installation of stairs to be appropriate; however, a railing detail should be submitted for review and approval. Railing profiles should be consistent with those found historically within the district.
- l. PORCH COLUMNS – The applicant has noted the installation of a double height, side porch that is to feature double height porch columns. Staff finds that the proposed columns should feature at least six (6) inches square and capital and base time. A column detail should be submitted to OHP staff for review and approval.

RECOMMENDATION:

Staff recommends approval based on findings a through l with the following stipulations:

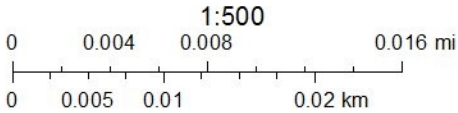
- i. That the applicant modify the proposed shed roof to feature a hipped roof, consistent with those found historically on site and the Guidelines as noted in findings e and f.
- ii. That the applicant install roofing materials that are consistent with the Guidelines, as noted in finding g.
- iii. That the applicant installs windows that feature profiles that are consistent with the Guidelines and examples found historically within the district and that all windows adhere to the adopted policy guide for windows.
- iv. That details of the proposed railing and columns be submitted to OHP staff for review and approval as noted in findings k and l.

City of San Antonio One Stop



March 11, 2022

☐ COSA City Limit Boundary







301 Belknap Parking

W French Pl

W French Pl

W French Pl

W French Pl

W

Belknap Pl

Roy and Madge
Hearne House

Catholic Charities
Archdiocese of San...

Lewis St

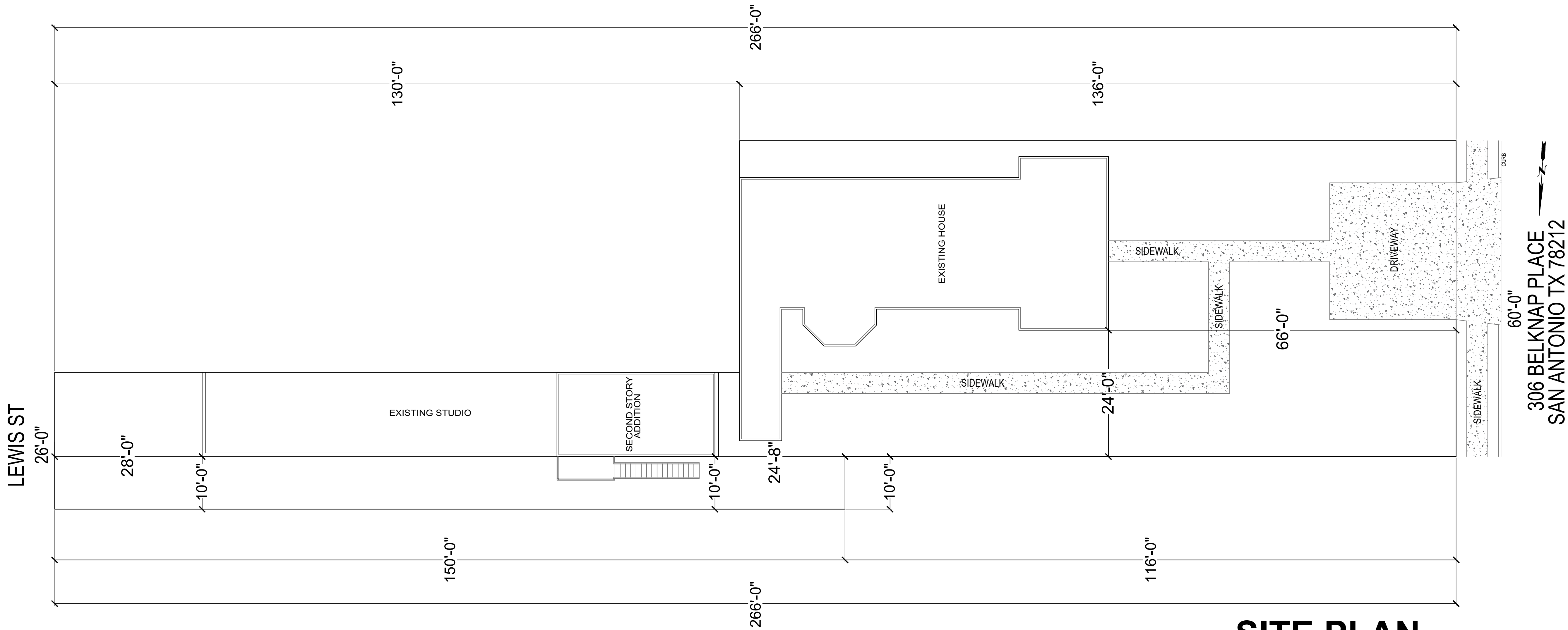
W Ashby Pl

W Ashby Pl

W Ashby Pl

Belknap St

Google



SITE PLAN
SCALE: 3/ 32 " = 1'

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SECOND STORY ADDITION

306 BELKNAP PL
SAN ANTONIO, TX 78212

DATE: MARCH / 2023

REVISIONS:

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design &
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hector@hd-design.us

A-O
SITE PLAN



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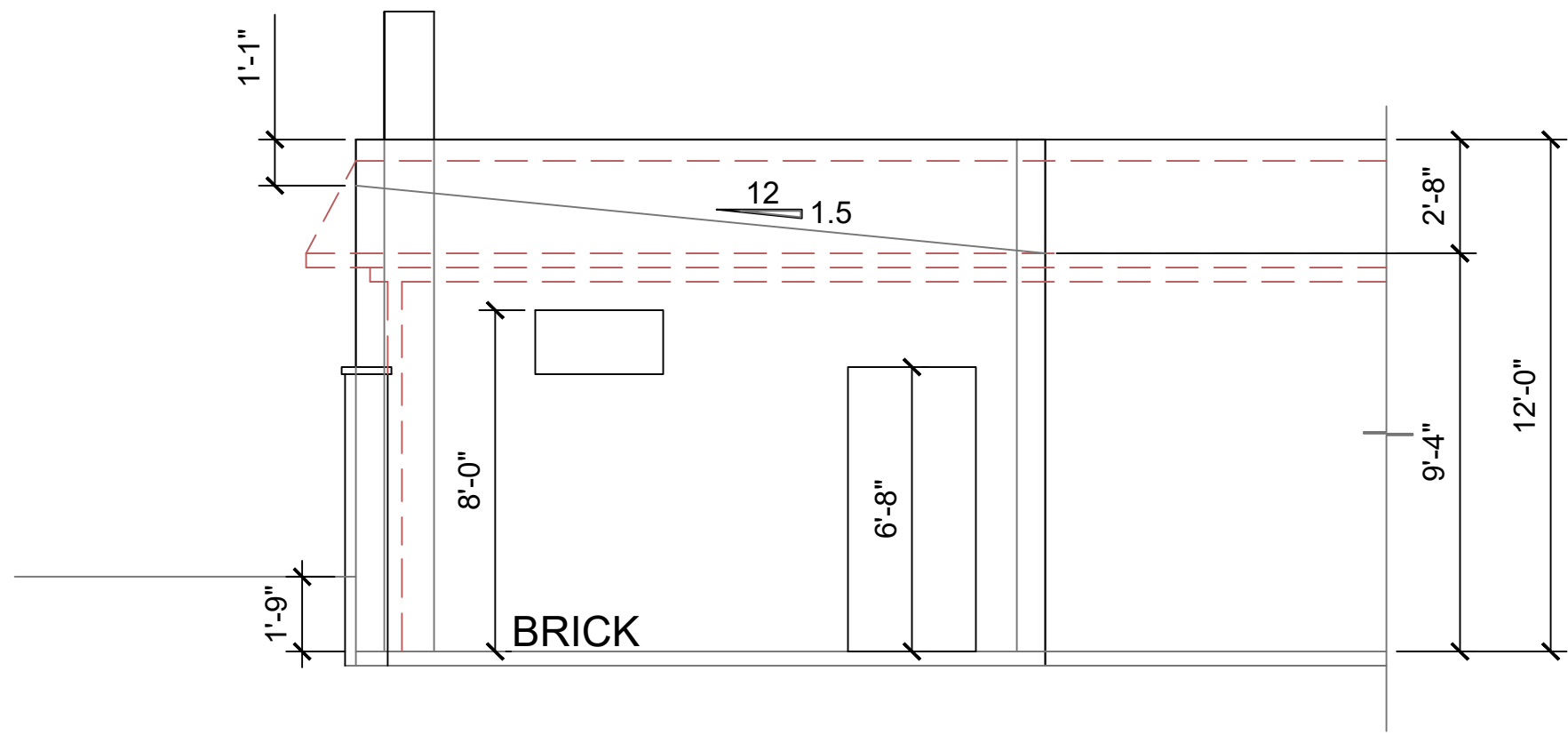
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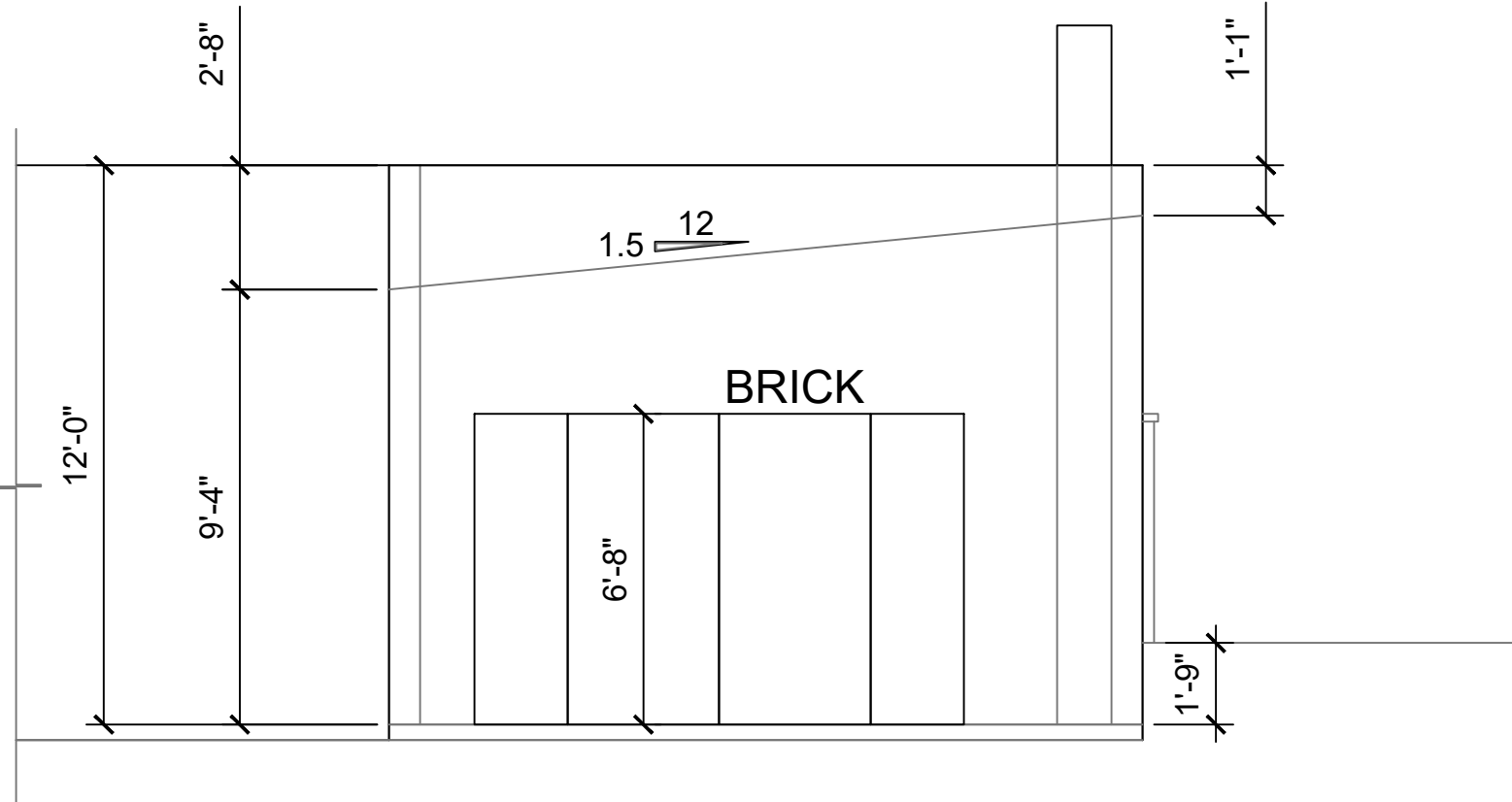
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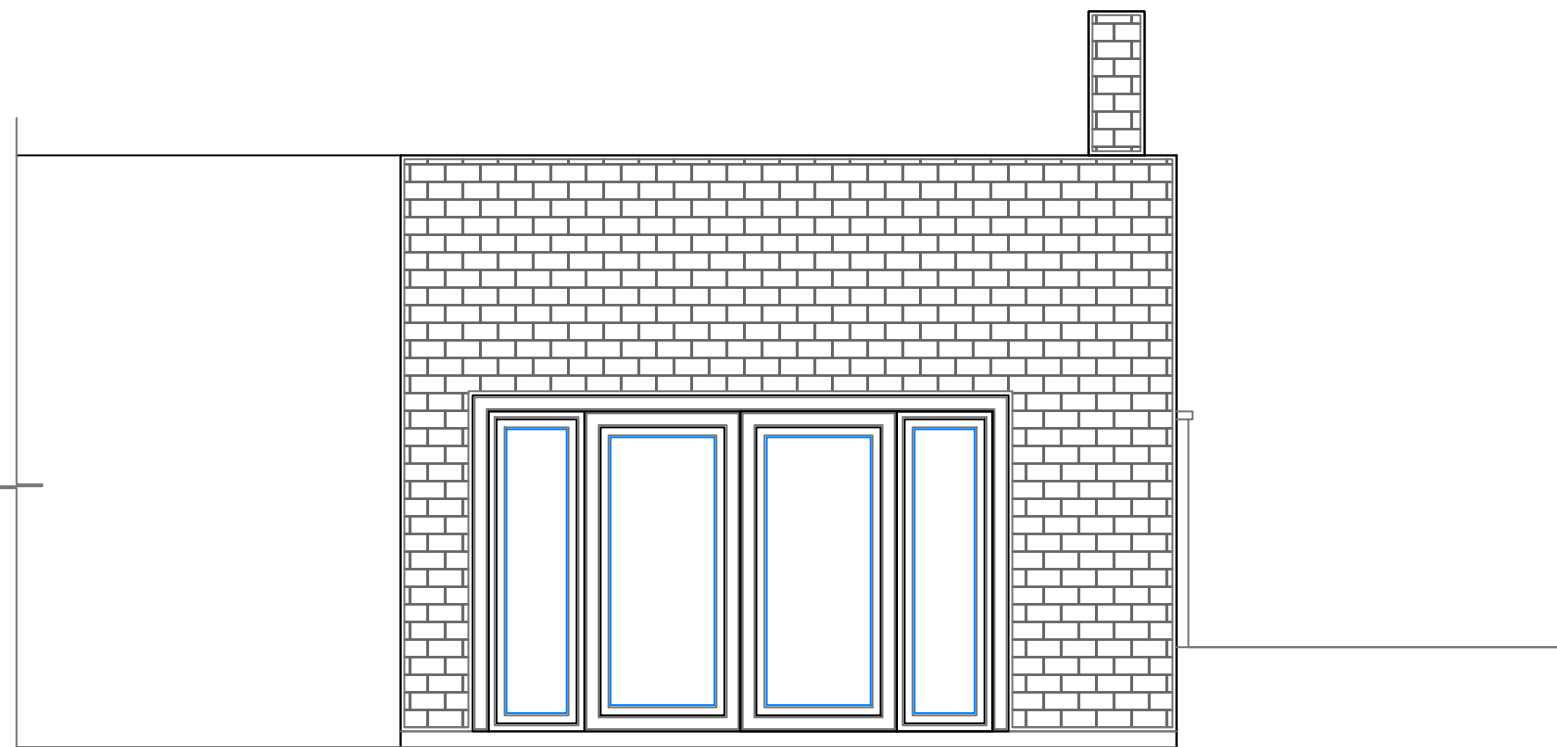
A-1
FLOOR PLAN'S
SECOND STORY ADDITION



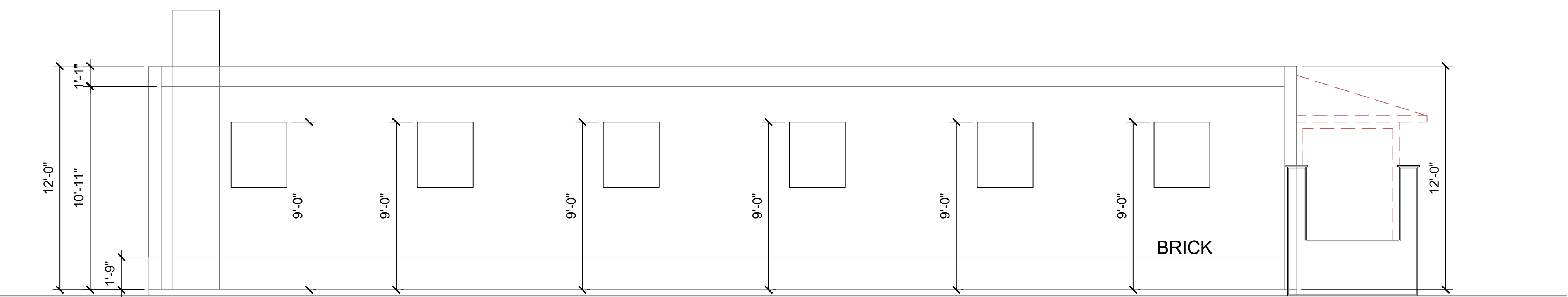
FRONT ELEVATION
SCALE: 1/4" = 1'



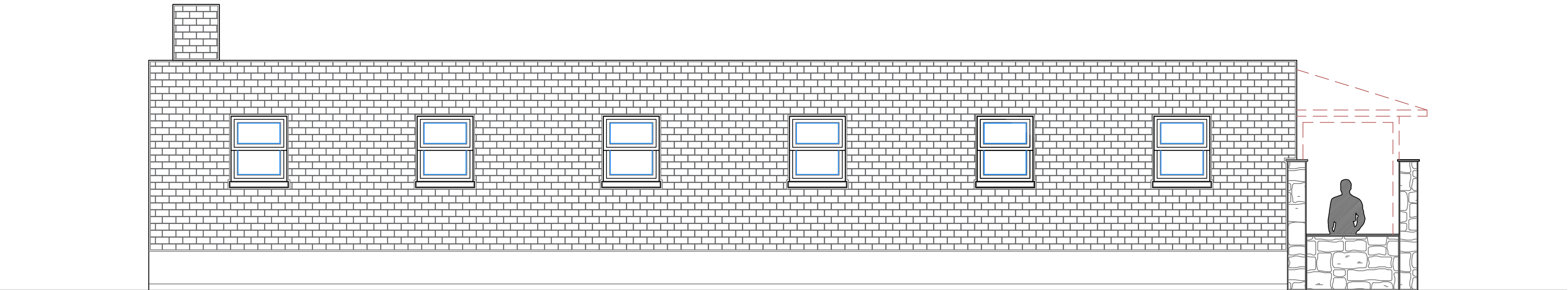
REAR ELEVATION
SCALE: 1/4" = 1'



RIGHT ELEVATION
SCALE: 1/4" = 1'



LEFT ELEVATION
SCALE: 1/4" = 1'



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A-2
EXISTING
ELEVATIONS

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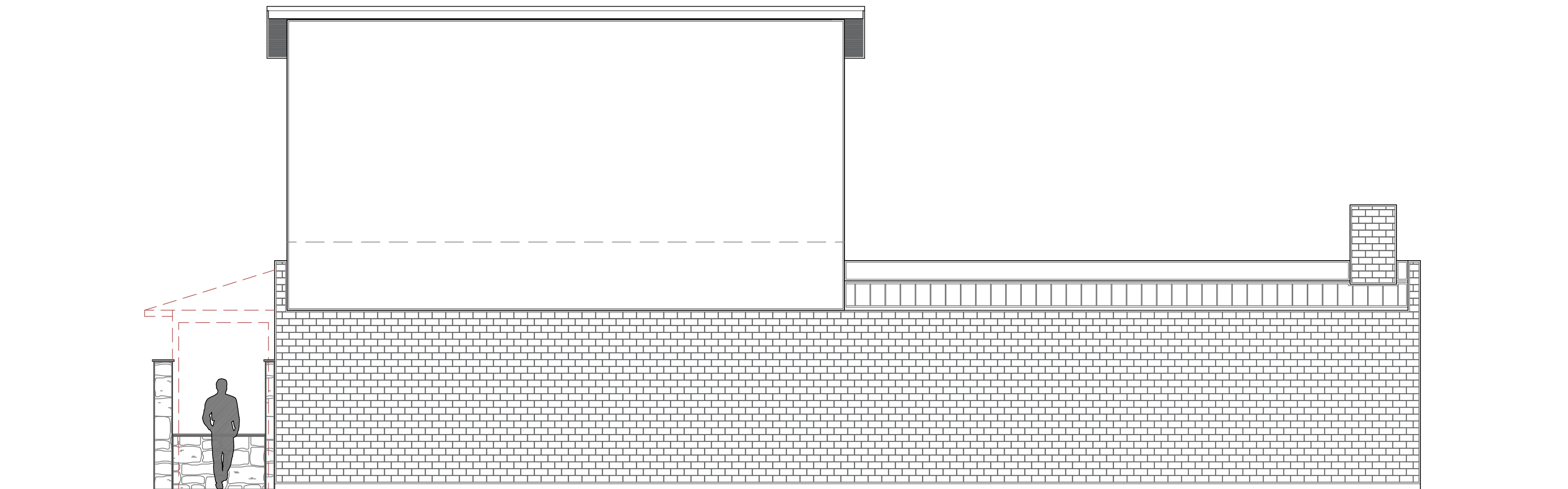
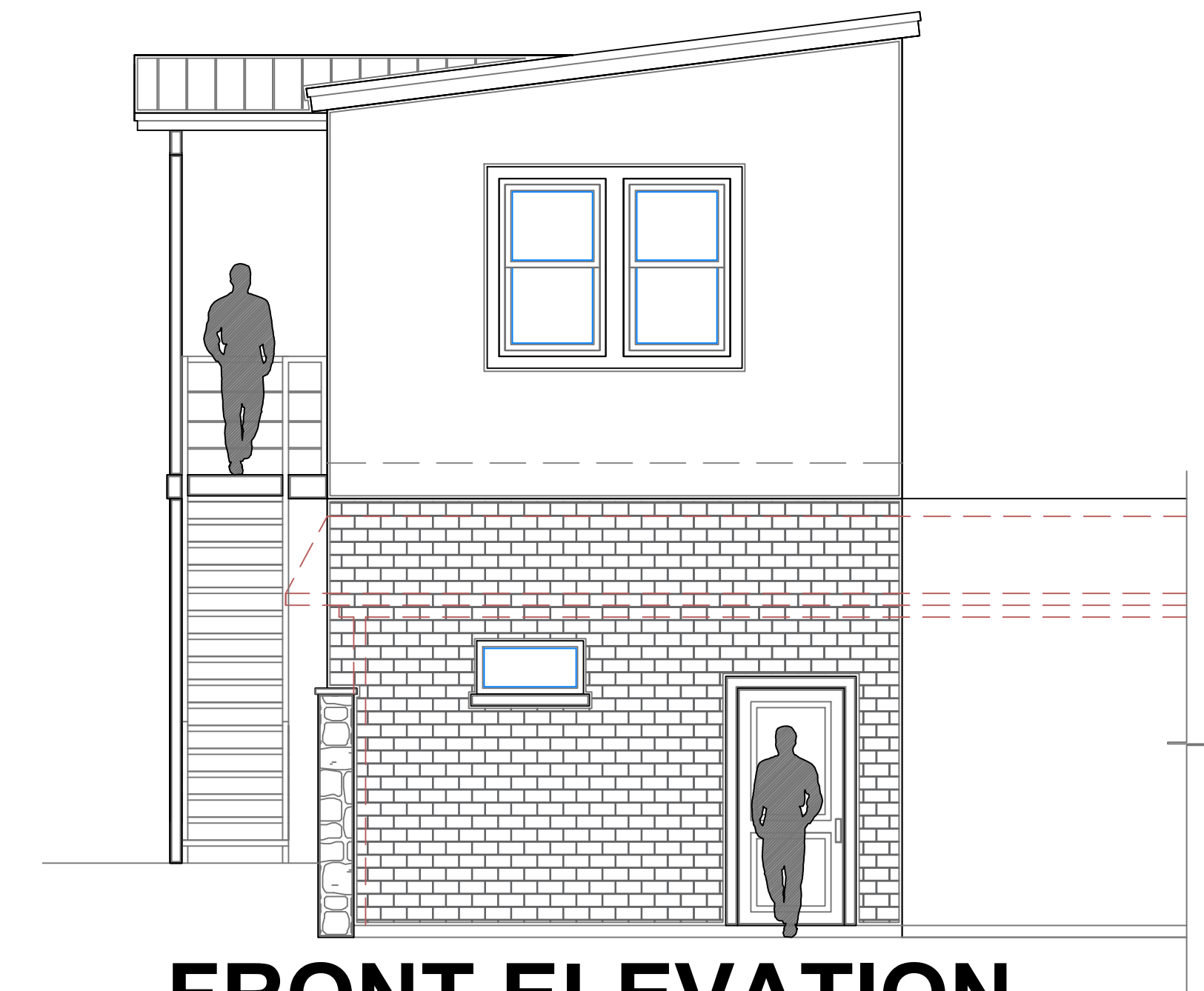
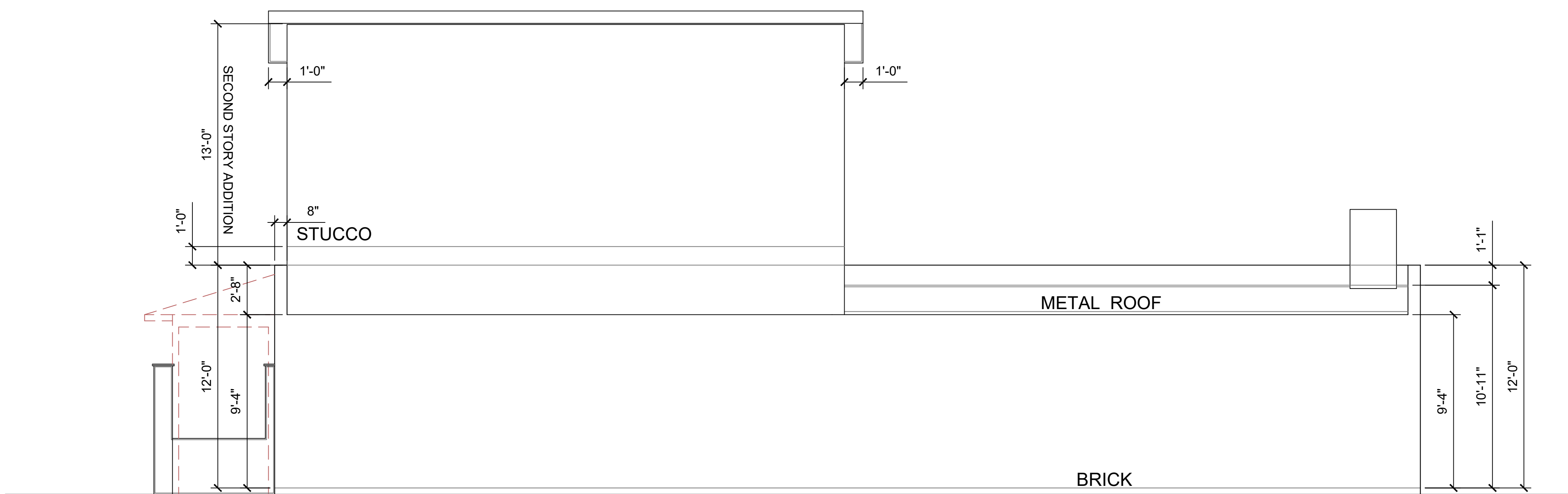
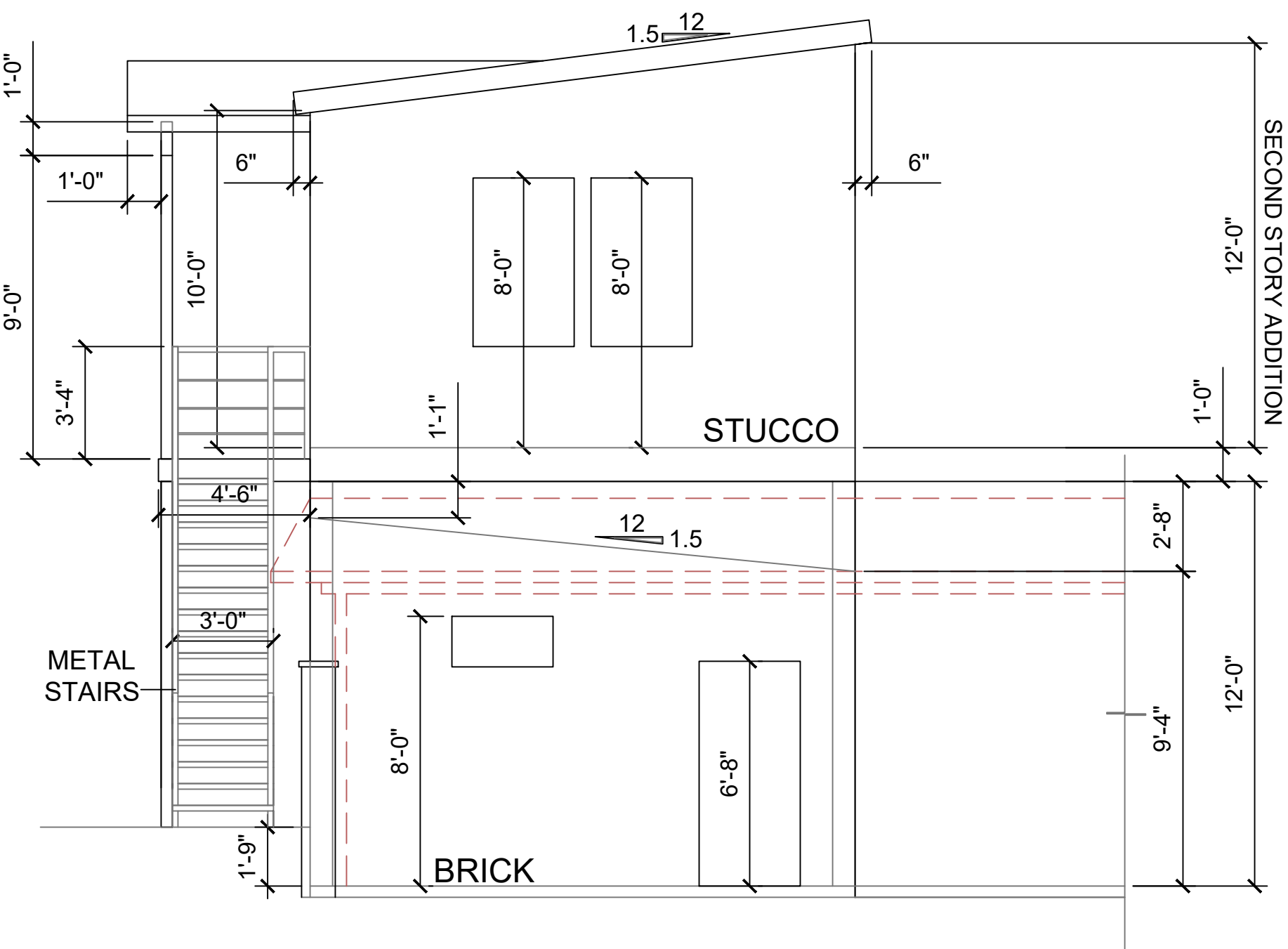
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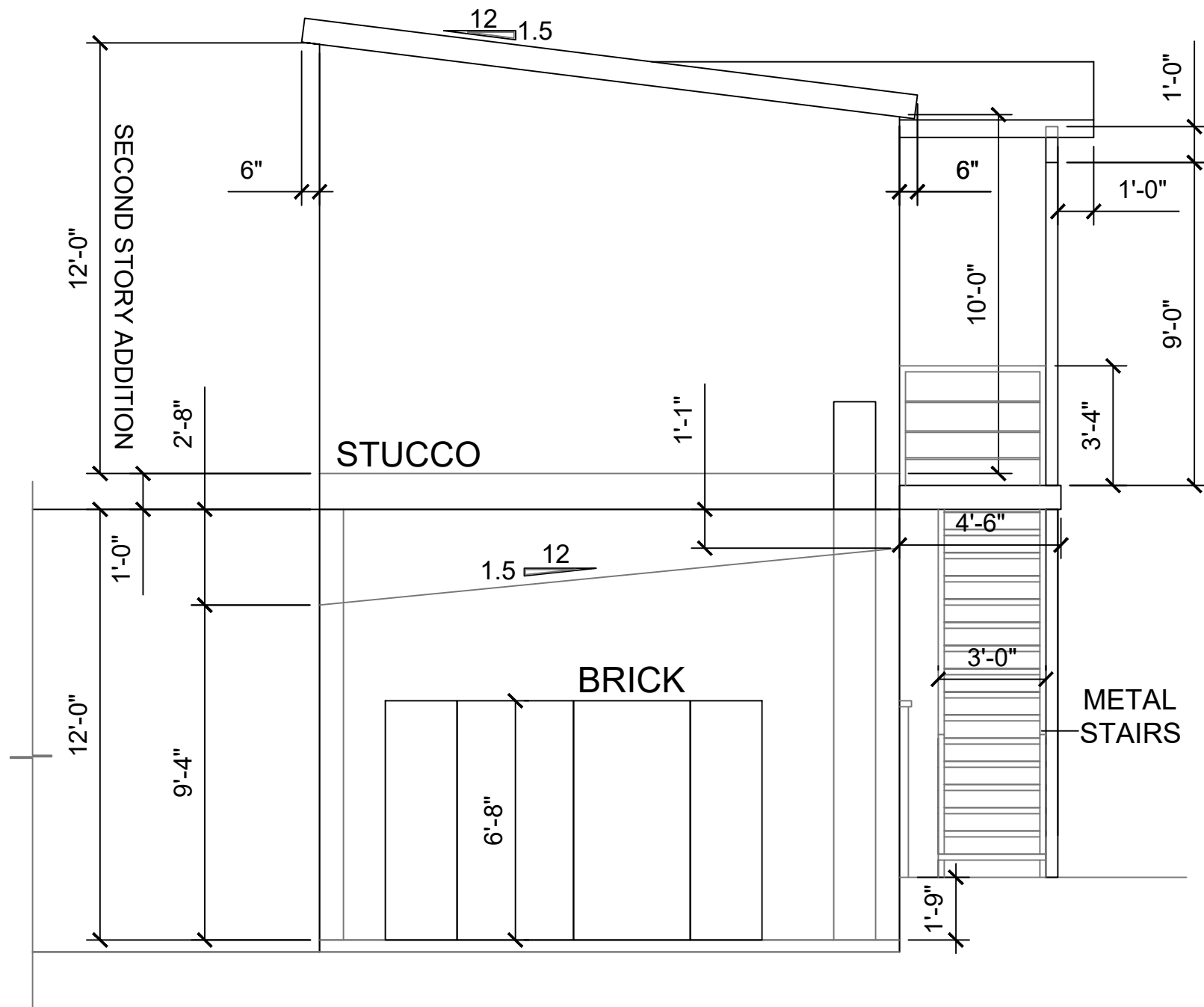
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A-3
FRONT & RIGHT
ELEVATIONS

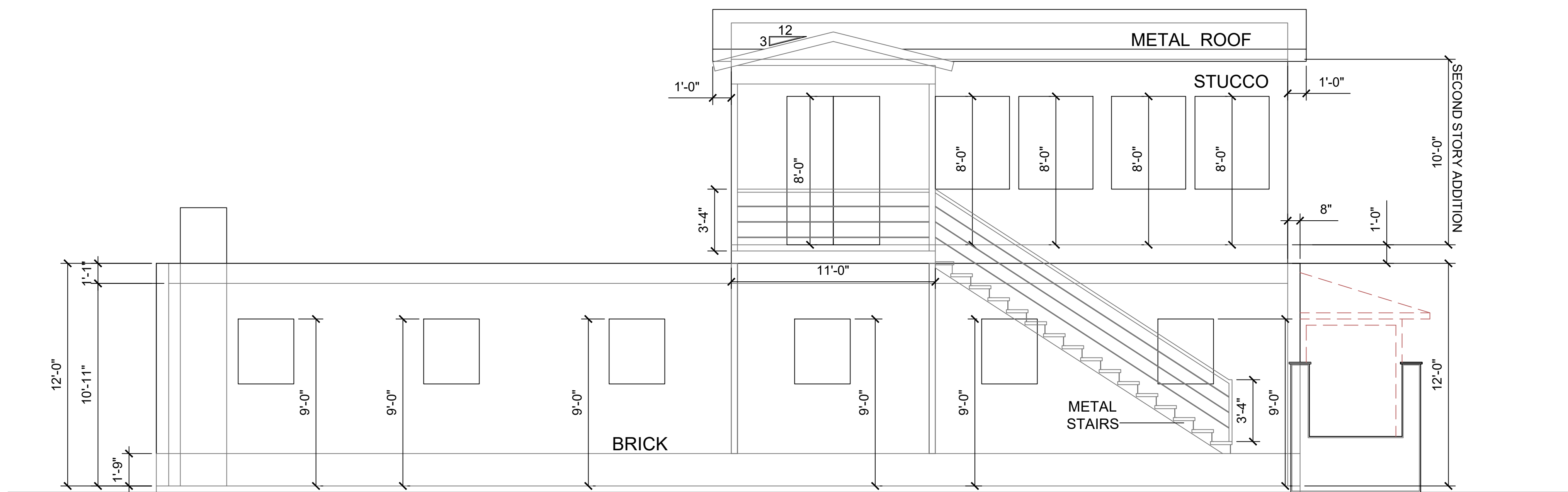


FRONT ELEVATION
SCALE: 1/4" = 1'

RIGHT ELEVATION
SCALE: 1/4" = 1'



REAR ELEVATION
SCALE: 1/4" = 1'



NOTE: MANUFACTURED STEEL STAIRS & TERRACE



LEFT ELEVATION
SCALE: 1/4" = 1'

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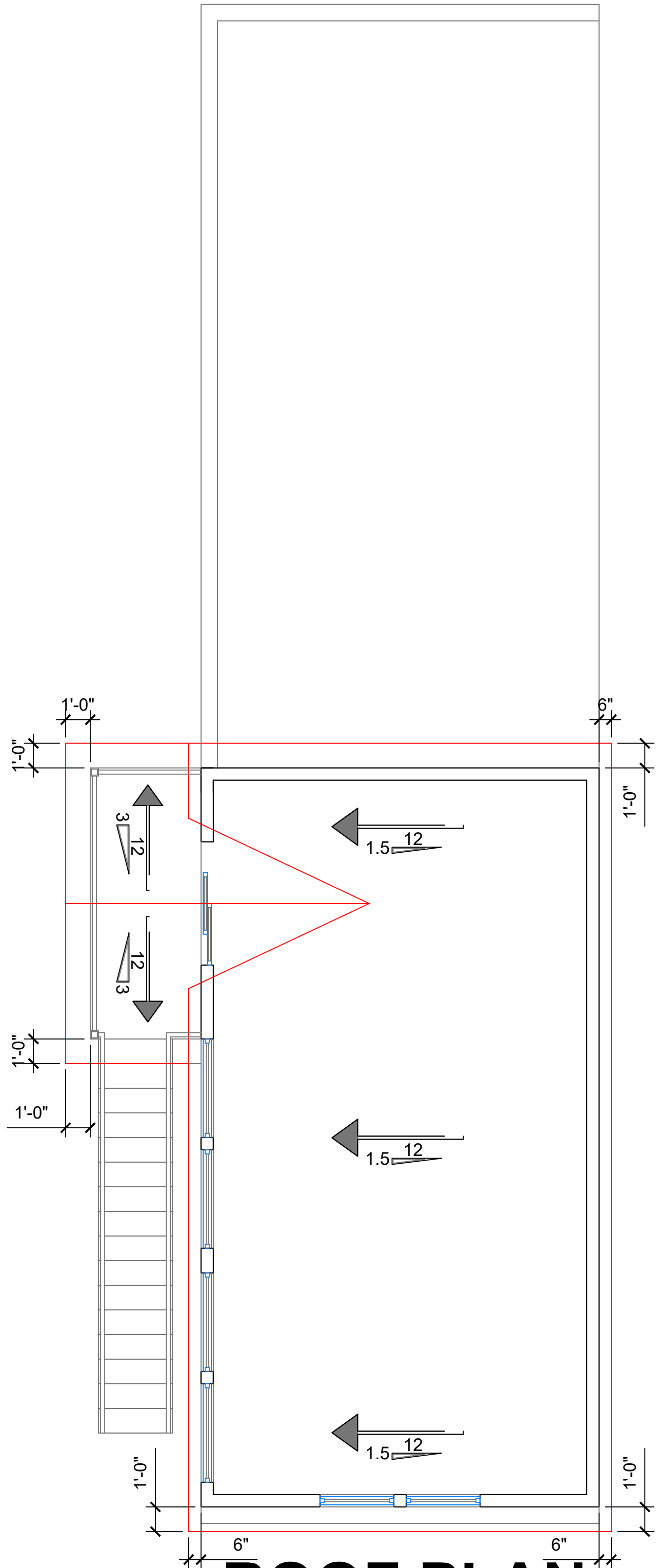
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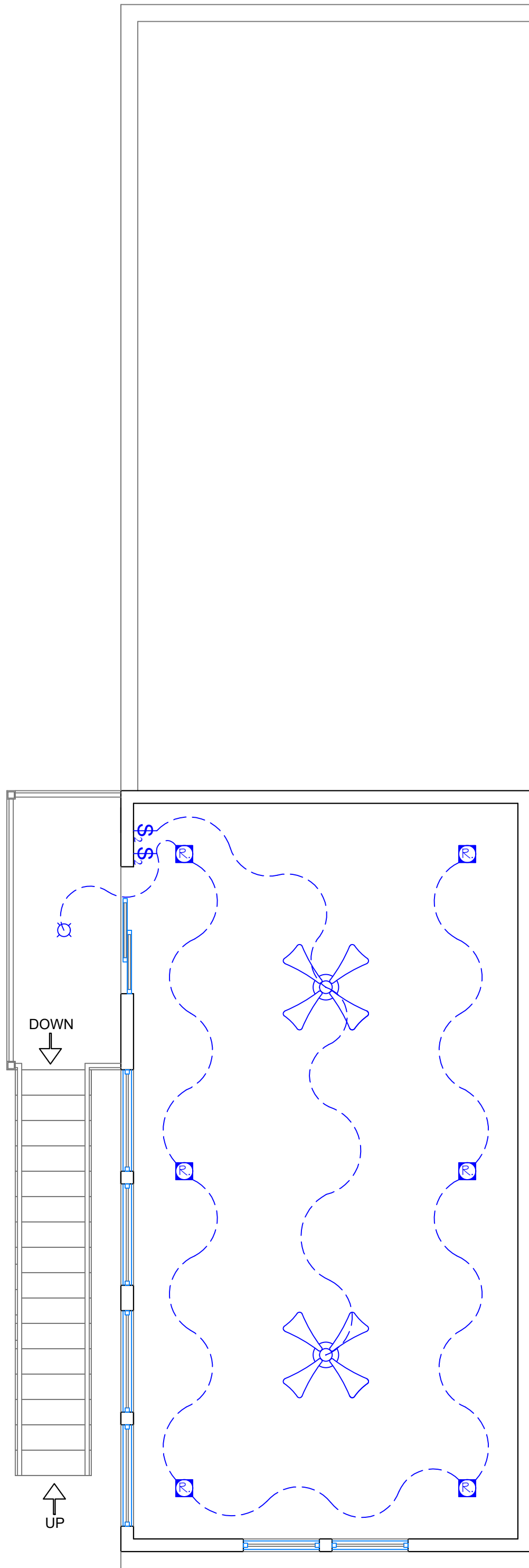
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A-4
REAR & LEFT
ELEVATIONS



ROOF PLAN
SCALE: 1/4" = 1'



ELECTRIC PLAN
SCALE: 1/4" = 1'

ELECTRICAL NOTES:

1. ALL GARAGE AND EXTERIOR PLUGS AND LIGHT FIXTURES TO BE ON GFCI CIRCUIT.
2. ALL KITCHEN PLUGS AND LIGHT FIXTURES TO BE ON GFCI CIRCUIT.
3. PROVIDE A SEPARATE CIRCUIT FOR MICROWAVE OWNER VERIFIED.
4. PROVIDE A SEPARATE CIRCUIT FOR PERSONAL COMPUTER.VERIFY ALL ELECTRICAL LOCATIONS WITH OWNER.
5. VERIFY ALL ELECTRICAL LOCATIONS WITH OWNER.
6. EXTERIOR SPOTLIGHTS TO BE ON PHOTO-ELECTRIC CELL W/ TIMER.
7. ALL RECESSED LIGHTS TO EXTERIOR CEILINGS TO BE INSULATED COVER RATED.
8. ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON RECEPTACLE, SWITCH, AND ANY OTHER BOXES IN EXTERIOR WALL.
9. PROVIDE THERMOSTATICALLY CONTROLLED FAN IN ATTIC WITH MANUAL OVERRIDE (VERIFY LOCATION W/ OWNER.)
10. ALL FANS TO VENT TO OUTSIDE AIR. ALL FAN DUCTS TO HAVE AUTOMATIC DAMPERS.
11. HOT WATER TANKS TO BE INSULATED TO R-11 MINIMUM.
12. INSULATE ALL HOT WATER LINES TO R-4 MINIMUM. PROVIDE AN ALTERNATE BID TO INSULATE ALL PIPES FOR NOISE CONTROL.
13. PROVIDE 6 SQ.FT. OF VENT FOR COMBUSTION AIR TO OUTSIDE AIR FOR FIREPLACE CONNECTED DIRECTLY FIREBOX PROVIDE FULLY CLOSEABLE AIR INLET.
14. ALL SMOKE DETECTORS SHALL BE ELECTRICALLY INTERCONNECTED, SO THAT IF ONE GOES INTO ALARM, ALL GO INTO ALARM.

NOTE: ALL ELECTRICAL INSTALLATIONS AS PER 2017 NEC

ELECTRICAL LEGEND:

	WIRLESS DOORBELL		SMOKE/CARBON MONOXIDE DETECTOR
	ELECTRIC DOOR OPENER		WALL MOUNTED LIGHTS
	DOORBELL CHIME		CABLE T.V. OUTLET
	WALL-MOUNTED CIRCUIT BREAKER		PERSONAL COMPUTER CONNECTION
	SWITCHES LEG		THERMOSTAT
	FAN & LIGHT		MOTOR
	YARD LIGHT		SINGLE-POLE SWITCH
	DUPLEX CONVENIENCE OUTLET (WALL OUTLET)		DOUBLE-POLE SWITCH
	GROUND-FAULT CIRCUIT & WEATHERPROOF OUTLET		THREE WAY SWITCH
	GROUND-FAULT INTERRUPTER/ RECEPTACLE CIRCUIT		FOUR WAY SWITCH
	SOFFIT OUTLET		CEILING-MOUNTED LIGHT
	220-VOLT OUTLET		WATER LIGHT
	MOTION SENSOR LIGHT		WALL-MOUNTED LIGHT
	PHONE		WATER PUMP
	RECESSED LIGHTS		FLOOD LIGHTS
	ELECTRIC METER		CEILING SURFACE-MOUNT FLOURECENT LIGHT
	WALL MOUNTED SMOKE DETECTOR		FAN
	INDIRECT LIGHTS		ELECTRIC PANEL

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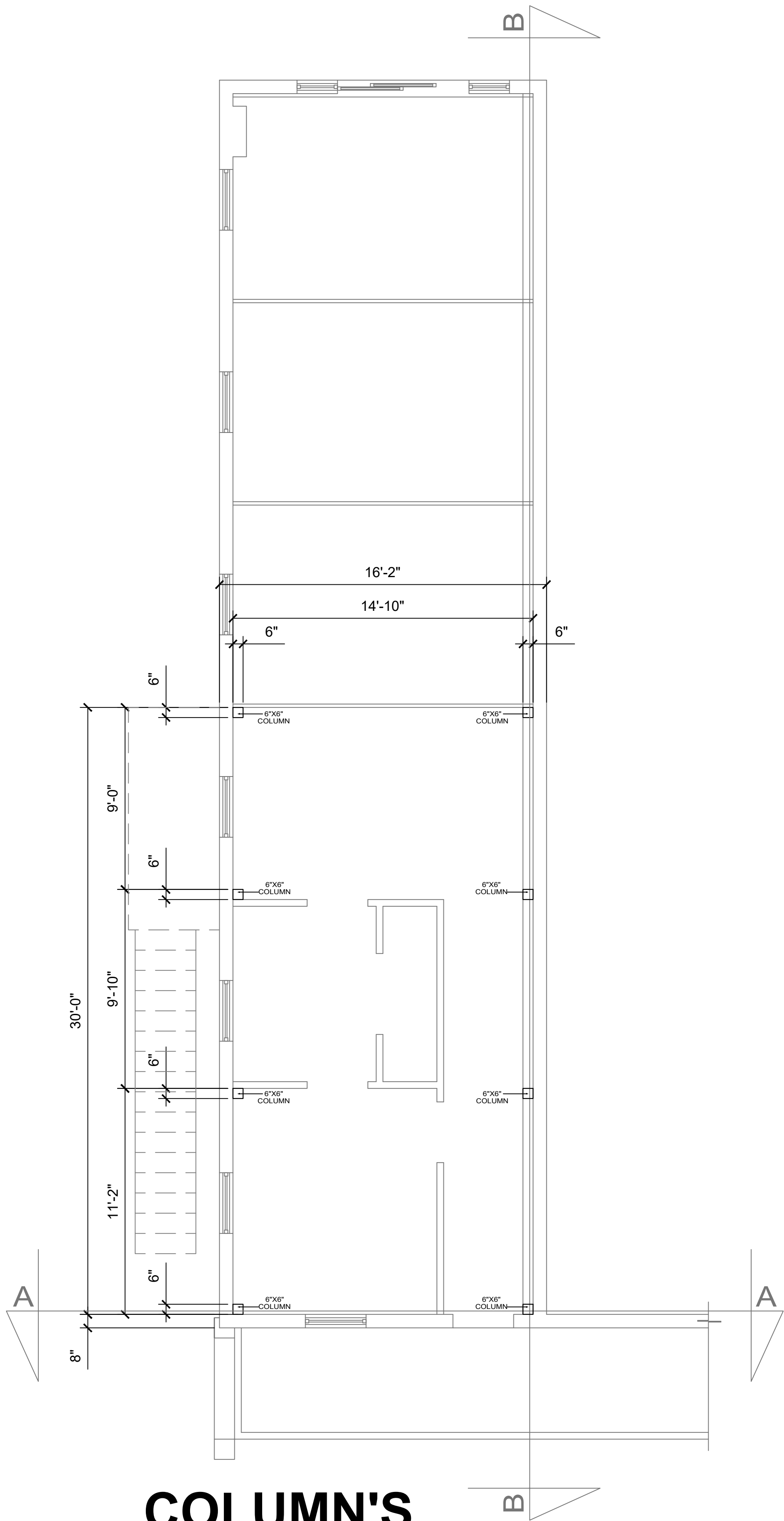
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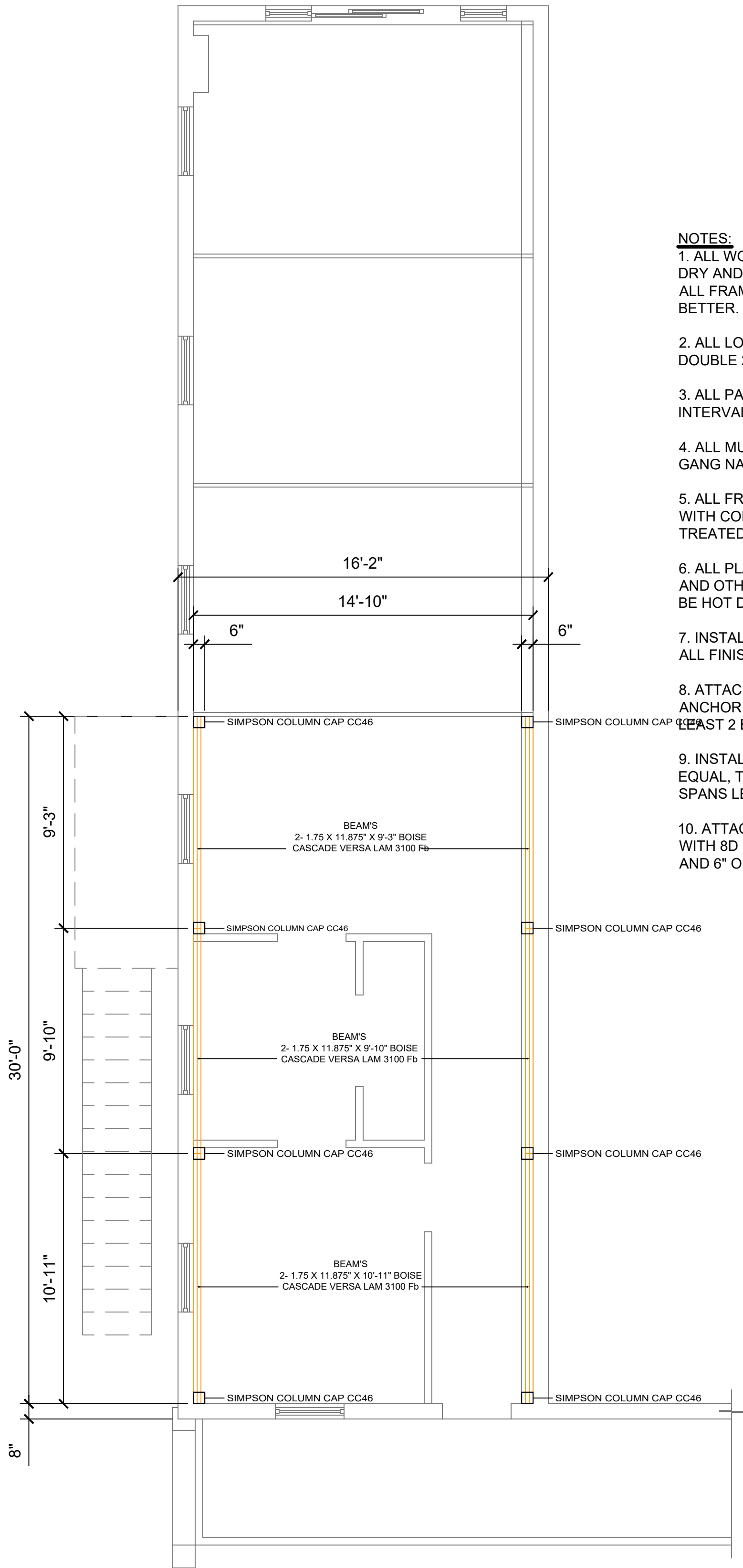
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A-5
ROOF & ELECTRIC
PLAN



COLUMN'S
SCALE: 1/4" = 1'



BEAM'S
SCALE: 1/4" = 1'

- NOTES:
1. ALL WOOD MATERIAL SHALL BE SURFACE DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT. ALL FRAMING LUMBER SHALL BE NO. 2 SYP OR BETTER.
 2. ALL LOAD BEARING PARTITIONS SHALL RECEIVE A DOUBLE 2X TOP PLATE AND LAPPED AT CORNERS.
 3. ALL PARTITIONS SHALL BE BRACED ON THE TOP AT INTERVALS NOT EXCEEDING 6 FEET ON CENTER.
 4. ALL MULTIPLE GIRDERS, BEAMS AND JOISTS SHALL BE GANG NAILED.
 5. ALL FRAMING EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
 6. ALL PLATE, ANCHORS, NAILS, BOLTS, NUTS, WASHERS, AND OTHER HARDWARE EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED.
 7. INSTALL ALL BLOCKING NECESSARY FOR ATTACHING ALL FINISHES, GYPSUM WALL BOARD, CABINETRY, ETC.
 8. ATTACHE WOOD PLATES TO FOUNDATIONS WITH 1/2" ANCHOR BOLTS AT 6" O.C. MAXIMUM SPACING WITH AT LEAST 2 BOLTS PER PLATE.
 9. INSTALL COLUMNS AT ALL LINTELS, BEAMS, HEADERS, EQUAL, TO THE WIDTH OF THE BEAM. ALL MEMBERS WITH SPANS LESS THAN 5 FOOT SHALL HAVE SINGLE JACK STUDS.
 10. ATTACHE WALL AND ROOF SHEATHING TO FRAMING WITH 8D NAILS AT 12" O.C. INTERMEDIATE SUPPORTS AND 6" O.C. EDGE SUPPORTS.

BRACING

CS-WSP AS PER R802.12
CONTINUOUSLY SHEATHED
WOOD STRUCTURAL PANEL

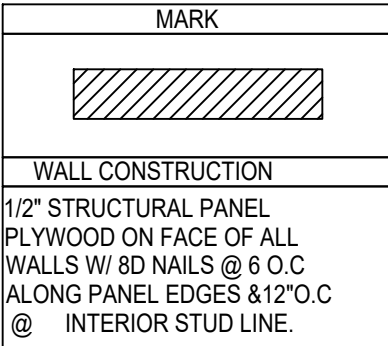


TABLE #1

NAILING SCHEDULE	
CONNECTION	NAILING
JOIST OR TRUSS BEARING ON SILL OR GIRDER, TOENAIL	(3) 8d
BRIDGING TO JOIST, TOENAIL EACH END	(2) 8d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d AT 16"o.c.
TOP PLATE TO STUD, END NAIL TO EACH STUD	(2) 16d
STUD TO SOLE PLATE	(4) 8d TOENAIL OR (2) 16d END NAIL
DOUBLE STUDS, FACE NAIL	16d AT 24"o.c.
DOUBLE TOP PLATES, FACE NAIL	16d AT 16"o.c.
TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2 - 16d
CONTINUOUS HEADER, TWO PIECES	16d AT 16"o.c. ALONG EACH EDGE
CEILING JOISTS TO PLATE, TOENAIL	(3) 8d
CONTINUOUS HEADER TO STUD, TOENAIL	(4) 8d
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	(3) 16d
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3) 16d
RAFTER OR TRUSS TO PLATE, TOE NAIL	(3) 8d
BUILT-UP CORNER STUDS	16d AT 24"o.c.

- NOTES:
1. MINIMUM NAILING SPECIFIED HEREIN SHALL BE PROVIDED UNLESS OTHERWISE NOTED ON DETAILS OR STRUCTURAL NOTES.
 2. COMMON OR BOX NAILS MAY BE USED. 16d NAILS MAY BE EITHER COMMON OR SINKER.

TABLE #2

STRUCTURAL SHEATHING / DECKING						
STRUCTURAL SYSTEM	SHEATHING TYPE	EXPOSURE CATEGORY	THICKNESS (MIN.)	SPAN RATING	NAILING PATTERN	
					EDGE SUPPORT	INTERIOR SUPPORT
FLOOR DECKING	APA RATED STURD I-FLOOR	EXP. 1	3/4" / 1 1/8"	24 oc / 48 oc	10d @ 6" O.C.	10d @ 12" O.C
WALL SHEATHING	APA RATED SHEATHING	EXP. 1	7/16"	24/16	10d @ 6" O.C.	10d @ 12" O.C
ROOF DECKING	APA RATED SHEATHING	EXP. 1	7/16"	24/16	8d @ 6" O.C.	8d @ 12" O.C.

- NOTES:
1. STRUCTURAL PANELS SHALL BE LABELED / STAMPED WITH APA APPROVED MARKINGS AND LABELS SHOWING CONFORMANCE WITH SPECIFICATIONS.
 2. ALL PANELS SHALL BE LAID OUT / ORIENTATED TO BE PERPENDICULAR TO SUPPORTS.
 3. STAPLES MAY NOT BE SUBSTITUTED FOR NAILS.
 4. BLOCK EDGES OF ALL WALL, ROOF, AND FLOOR SHEATHING PANELS.

TABLE #3

ROOF FRAMING SCHEDULE		
MEMBER	SIZE	GRADE
COMMON RAFTER	2 X 6 AT 14" O.C.	SYP #2
HIP RIDGE	2 X 8	SYP #2
GABLE RIDGE	2 X 8	SYP #2
OUTRIGGERS	2 X 4 AT 2'-0" O.C.	SYP #2

TABLE #5

WALL FRAMING SCHEDULE		
1st FLOOR WALLS	2 X 6 AT 14" O.C.	SPF #2
1st FLOOR BOTTOM PLATE	2 X 6 TREATED	SPF #2
1st FLOOR TOP PLATE	(2) 2 X 6	SPF #2
2nd FLOOR WALLS	2 X 6 AT 14" O.C.	SPF #2
2nd FLOOR BOTTOM PLATE	2 X 6	SPF #2
2nd FLOOR TOP PLATE	(2) 2 X 6	SPF #2

TABLE #4

HEADER SCHEDULE			
SPAN	HEADER	SPECIES	JACK STUDS
3'-0" - 5'-0"	(2) 2 X 6	SYP #2	(1) SPF #2
6'-0" - 8'-0"	(2) 2 X 8	SYP #2	(1) SPF #2
9'-0" - 11'-0"	(2) 2 X 12	SYP #2	(1) SPF #2

TABLE #6

FLOOR JOIST SCHEDULE		
1st FLOOR JOISTS	OPEN WEB JOISTS	SPF #2



F- 13536
Jaime Gonzalez Serna
3 March 2023
JAGON, LLC
JAIME GONZALEZ SERNA
4907 BELLE ELLEN DR.
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PHONE: 210-632-0329

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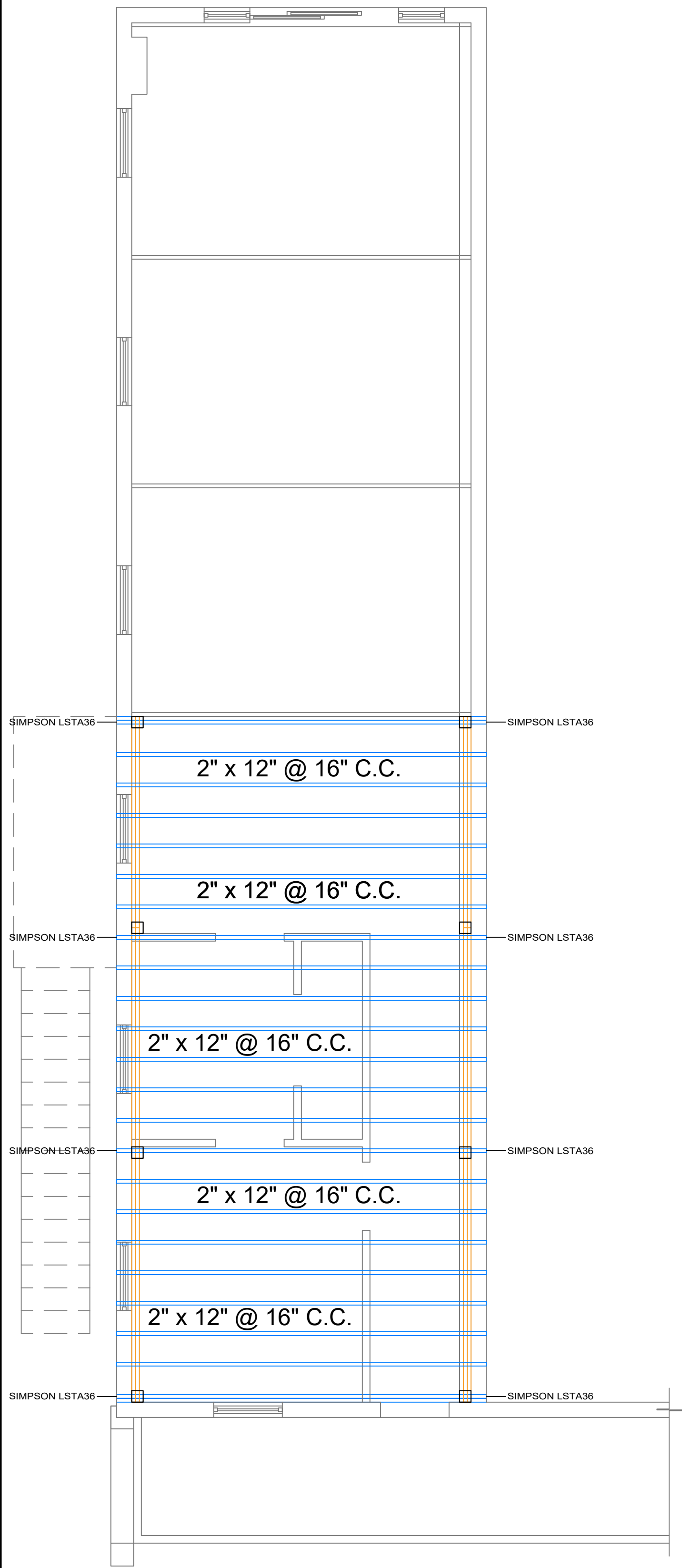
SECOND STORY ADDITION
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SAN ANTONIO, TX 78212

DATE: MARCH / 2023

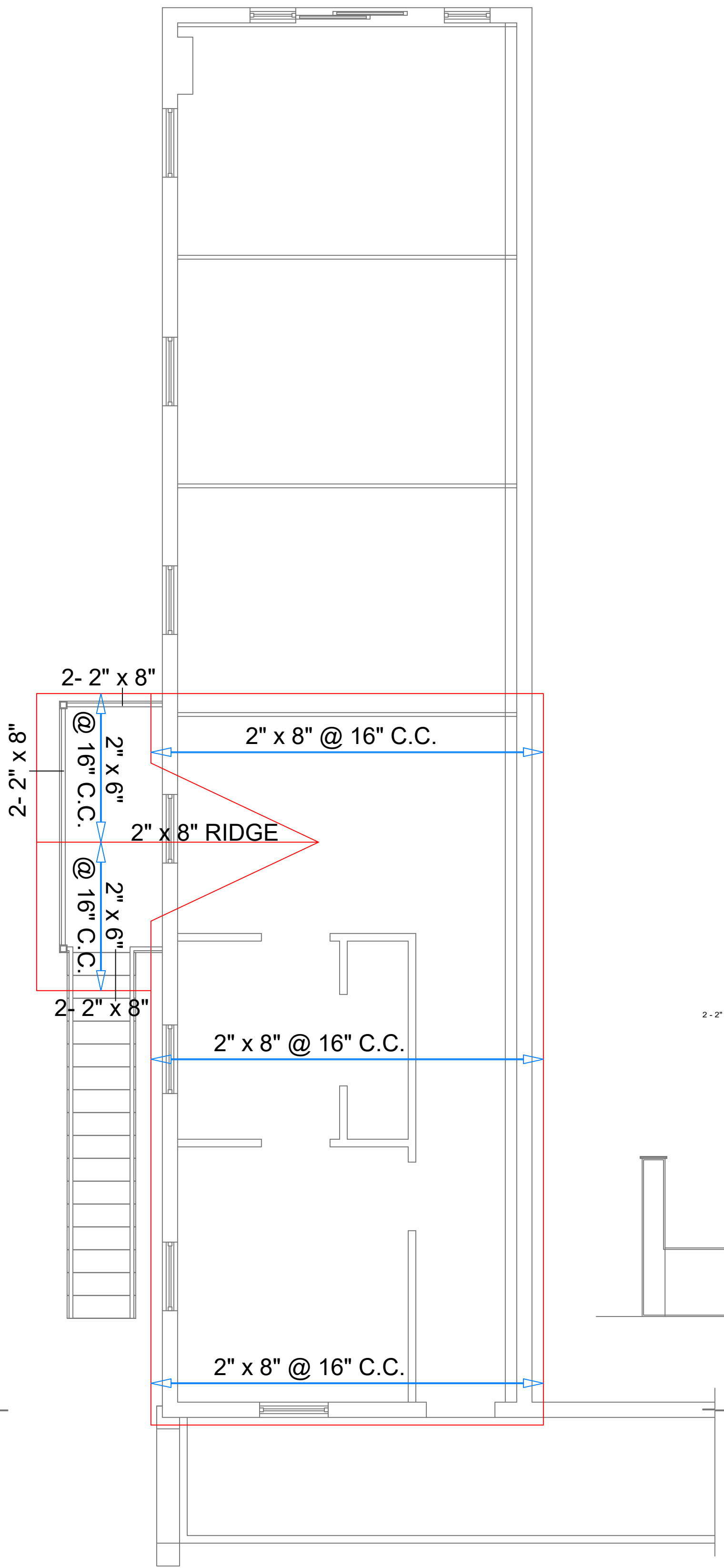
REVISIONS:

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construction LLC
210. 872 . 7072
hector@hd-design.us

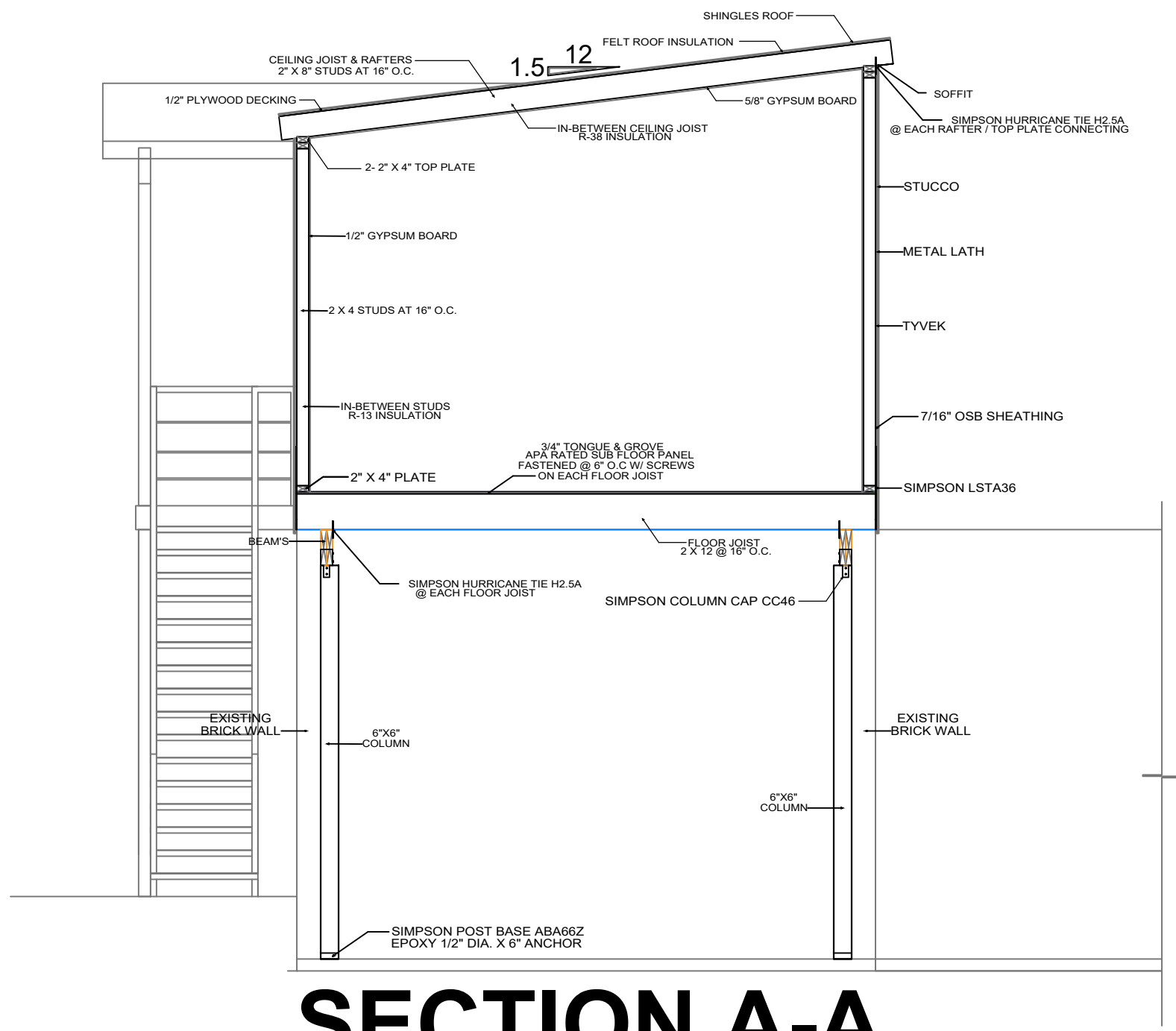
A-6



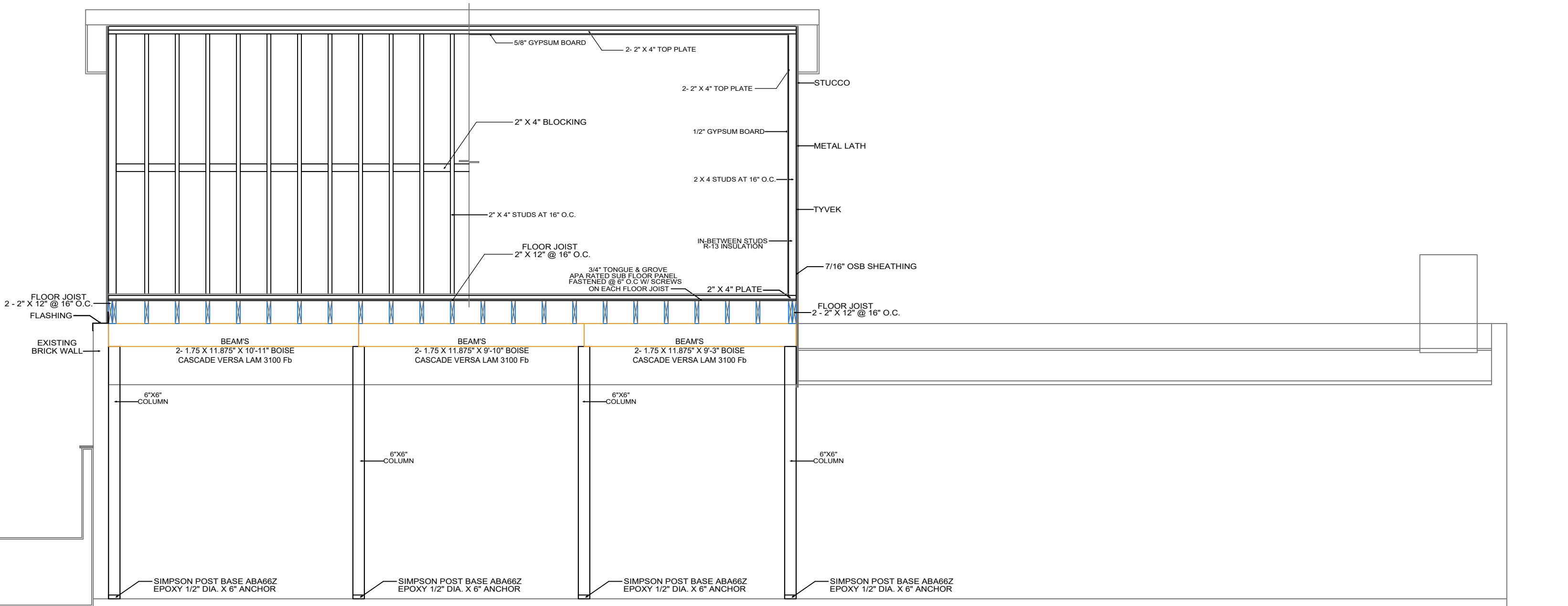
FLOOR JOIST
SCALE: 1/4" = 1'



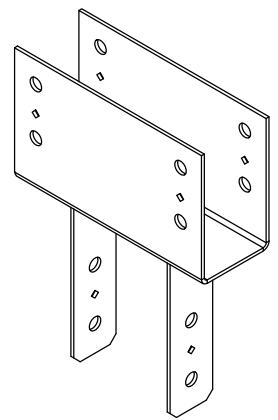
CEILING & RAFTERS
SCALE: 1/4" = 1'



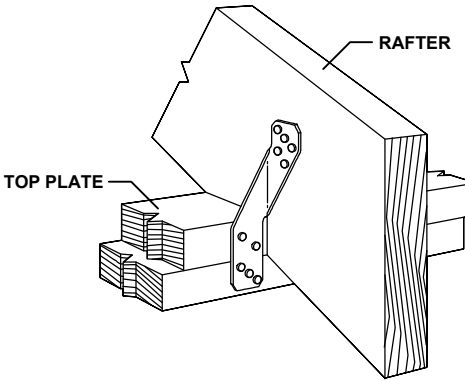
SECTION A-A
SCALE: 1/4" = 1'



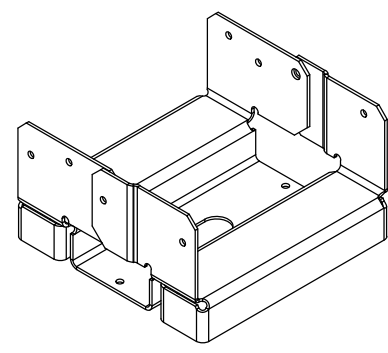
SECTION B-B
SCALE: 1/4" = 1'



SIMPSON COLUMN
CAP CC46
NO SCALE



SIMPSON HURRICANE
TIE H2.5A
NO SCALE



SIMPSON POST
BASE ABA66Z
NO SCALE



SIMPSON LSTA36
NO SCALE

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A-7





